



FACADE DESIGN PLAN

ALEX & AMANDA SOUTHFORD
12 Example Street, Rossmoyne, WA

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Before & After

AFTER



BEFORE



Concept Overview



NOTE RE: COLOURS DISPLAYED IN THIS DESIGN PLAN

Please be aware that all device screens and printers are different, so it's essential to view the recommended colours and products in the flesh. We are able to order paint samples for you (can take 5-7 days), or you may wish to collect from your local paint store.


Design Detail A – Main Façade

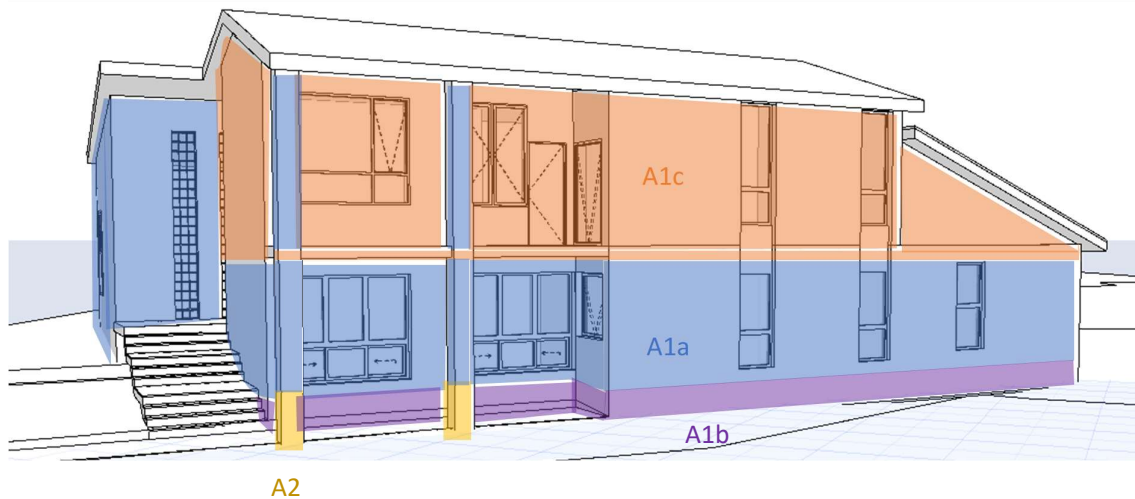


A1. External Walls

Retain the existing brick and refinish over the top as follows.

External Wall Schedule

Wall Type	Product	Colour	Product Image
A1a	Render and paint over brick	Dulux, Mt. Aspiring.	
A1b	Render and paint on new plinth	Dulux, Mt. Aspiring.	
A1c	Board and Batten Cladding	Dulux, Mt. Aspiring	
A2	Stone Cladding <i>See A2 for further details</i>	Artisan Exterior, Luna Cladding	



A1a. Render over brick

Grind off the existing brick window sills and apply colour-through acrylic render (or render, then paint) the existing brick walls. Build out in-fill sections (above windows) to be flush with the brickwork and ensure the render finish is level throughout.

Location: to all ground floor level and columns, excluding bottom trim and clad sections (as shown on diagram below).

Render the remainder of the house as required.

Finish: Smooth.

Colour to be Dulux, Mt. Aspiring.



A1b. Render on new plinth

Box out a 500mmHx80mmD section along the base of the house as shown below (all the way around the base). This is to help visually anchor the house (subtle but important). Line and render/paint Dulux, Mt. Aspiring to match the rendered wall above. Flashing (if required) to be Colorbond, Dover White as required.

Note – impacted subfloor vents will need to be relocated/repositioned as required. Ensure that subfloor is adequately ventilated.



A1c. Board and Batten Cladding

Install vertical board and batten cladding to the upper level of the façade as per illustration and image following. Build out in-fill sections above windows as required.

Battens are 45mmW x 19mmD @ 280mm spacings. Colour: Dulux, Mt. Aspiring.

Note – An engineer will be required to ensure that the brickwork is structurally sound to take the weight of the cladding.





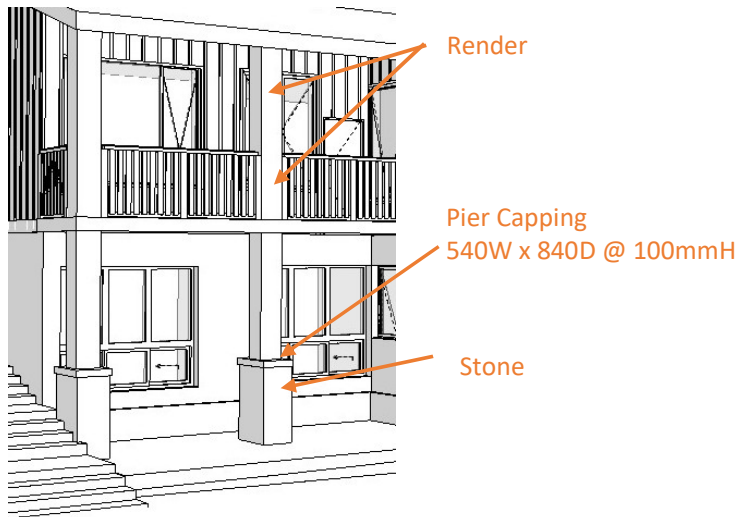
A2. Columns

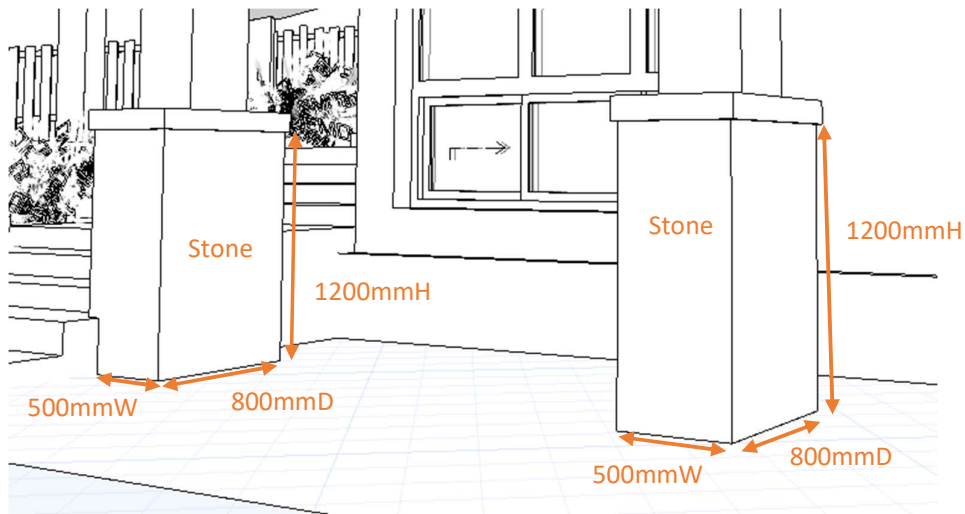
Box out the bottom of the columns to be approximately 800mmD x 500mmW x 1200mm (H).

Render/paint the remaining brickwork as per A1a. Paint the pier caps Dulux, Mt Aspiring also.

Clad the bottom of the columns in stone - Artisan Exterior, Luna or similar.

Pier caps overhang by 20mm on each side x 100mmH





Artisan Exterior, Luna – <https://artisanexterior.com.au/>

A3. Roof, Gutters etc

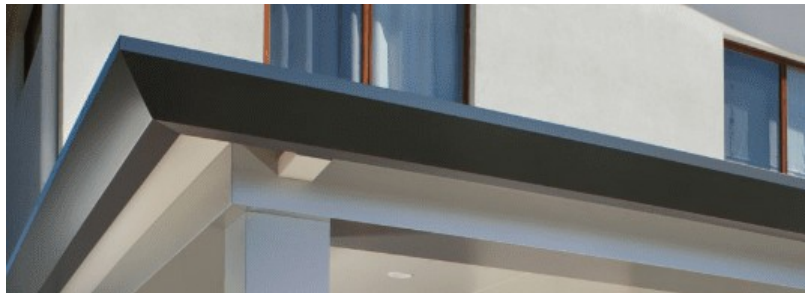
A3a. Roof

Roof will need to be inspected to determine what needs to be fixed and what needs replacing. Either way, we recommend keeping tiles (new or repaired). Colour to match Colorbond, Woodland Grey (similar to the below colour).



A3b. Gutters

Replace non-compliant gutters with new Stratco Edge Gutter profile. Colour: Ebony (Black).



Stratco Edge Gutter Profile

A3c. Bargeboards - Repair/replace as required. Colour: Colorbond, Night Sky/Stratco, Ebony or paint to match.

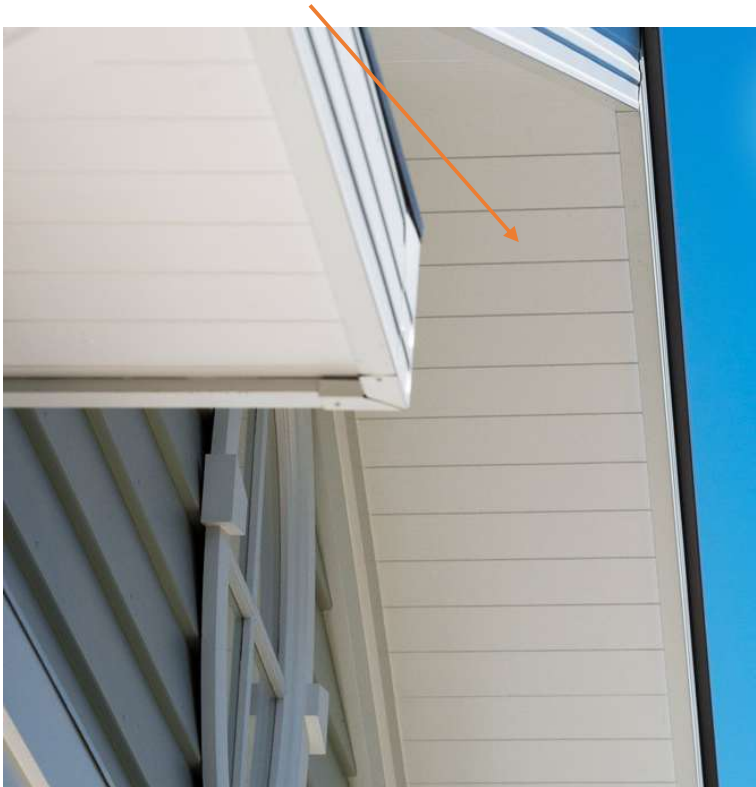
A3d. Fascia's – Trim the rafter tails to make way for new fascia's along the length of the house. Line these up with the bargeboards and finish to match (ie Bargeboards and gutters will both be black and same material).

A3e. Downpipes - Replace or repair/repaint as required. Colorbond, Dover White (or paint to match)

A3f. Soffits -

Option 1 – Leave rafters exposed (rafter tails will be trimmed to remove rotted areas) and paint rafters/soffits Dulux, Mt. Aspiring

Option 2 - Install new VJ soffit linings throughout to cover the rafters. Prep/paint Dulux, Mt. Aspiring.



A4. Windows

New black windows to remain as is. Remainder of windows to be replaced to match new or painted if you want to keep costs down.

A5. Front Door

Leave the existing door/window joinery at entrance other than to prep/paint the timber to match Colorbond, Night Sky.

For the door itself;

Option 1 - Prep/paint the existing door to match Colorbond, Night Sky

Option 2 – Replace door with new as per image below and paint to match Colorbond, Night Sky



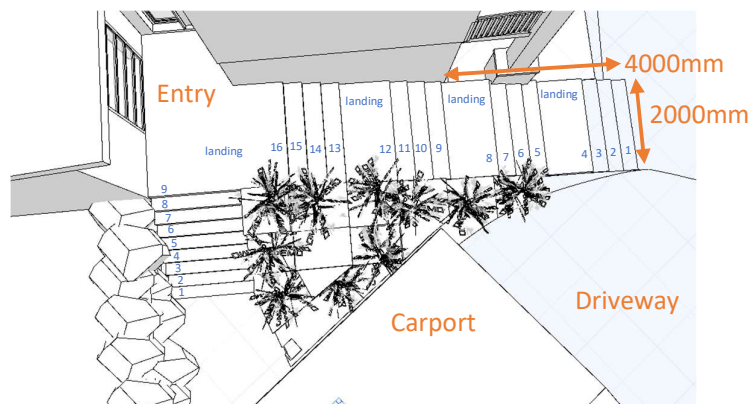
A6. Entry Stairs

Build new stairs and landings to entry as per the diagrams below. New stairs to extend at least 4000mm past the front wall (see below). Main stairs to be 2000mm (wide) & carport stairs are approximately 1700mm (wide).

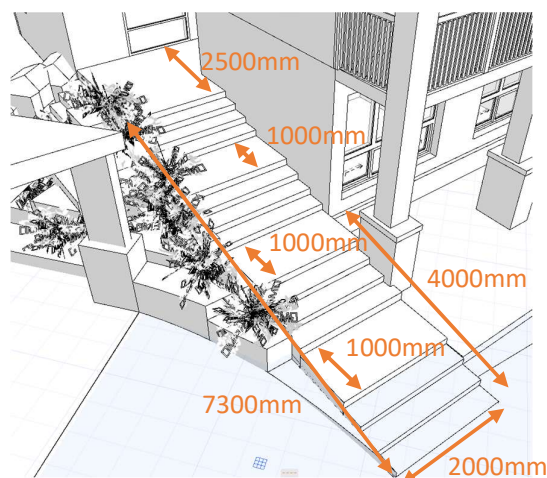
Finish details: Treads, Risers & Landings
– Tiles (as per image on right – light grey swirl that incorporate the colours of the house and trims)



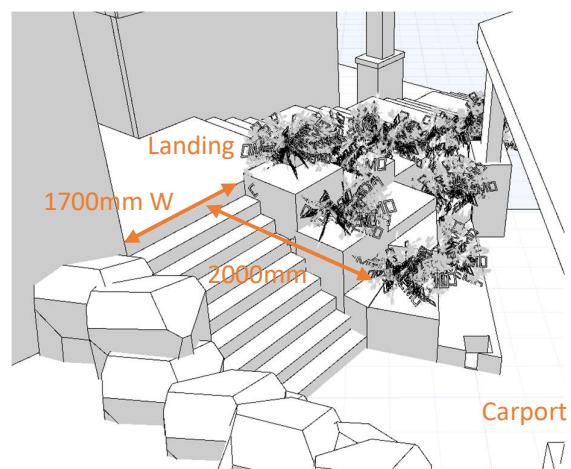
Note – Number of treads/risers will need to be measured onsite for compliance. More or less stairs may be required depending on natural ground levels and finished floor levels. Balustrades and/or handrails may be required in some cases though we have tried to avoid this with the use of planter boxes adjacent. Stairs will need to comply with all regulations.



Top View



Main Stairs



Carport Stairs

A7. Lighting

Install new lights as follows.

Façade Wall lights



Product: Harvard IP44 Metal & Glass Exterior Wall Lantern, Black

Quantity: 2x

Location: Staircase wall

https://www.livingstyles.com.au/harvard-ip44-metal-glass-exterior-wall-lantern-black/?gad_source=4&gclid=Cj0KCQjw9vqyBhCKARIsAIIcLMGA-La087eMIMhNx3gEs5JYu-aiA5TAWdDnm7Ac2E9DuX4DSA83wA4aAvbaEALw_wcB

Staircase lighting



Product: Arch LED step light in Silver/Grey (or similar)

Quantity: 2 per riser (as shown below) or you could do two lights every 2-3 risers depending on budget/look you want

Location: Main Staircase only

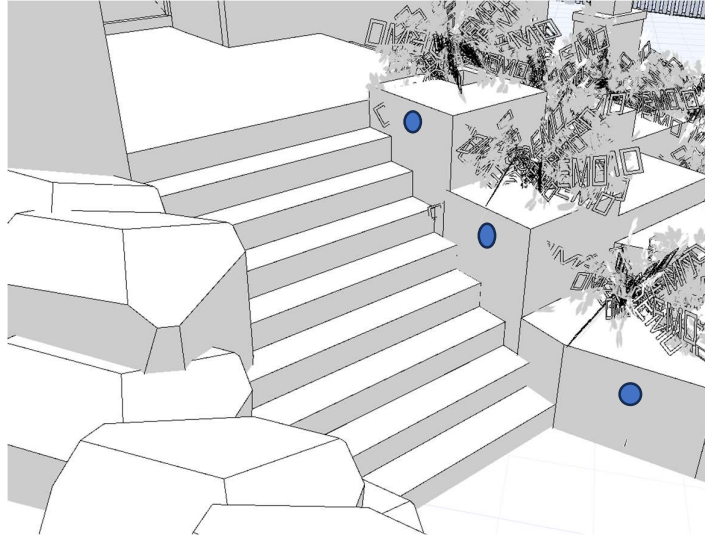
<https://www.davolucelighting.com.au/Vencha-5505086-12v-WH-Arch-12v-Step-Light.html>



Product: Wall Sconce in Antique Black (beacon have these too)

Quantity: 3

Location: Carport Staircase only



A8. Balcony & Balustrades

Remove existing balustrade and install new complaint balustrade as per image below. Colour – Dulux, Mt. Aspiring.



Suggested dimensions:

Handrail – 40mmH x 120mmD

Top rail – 100mmH x 18mmD

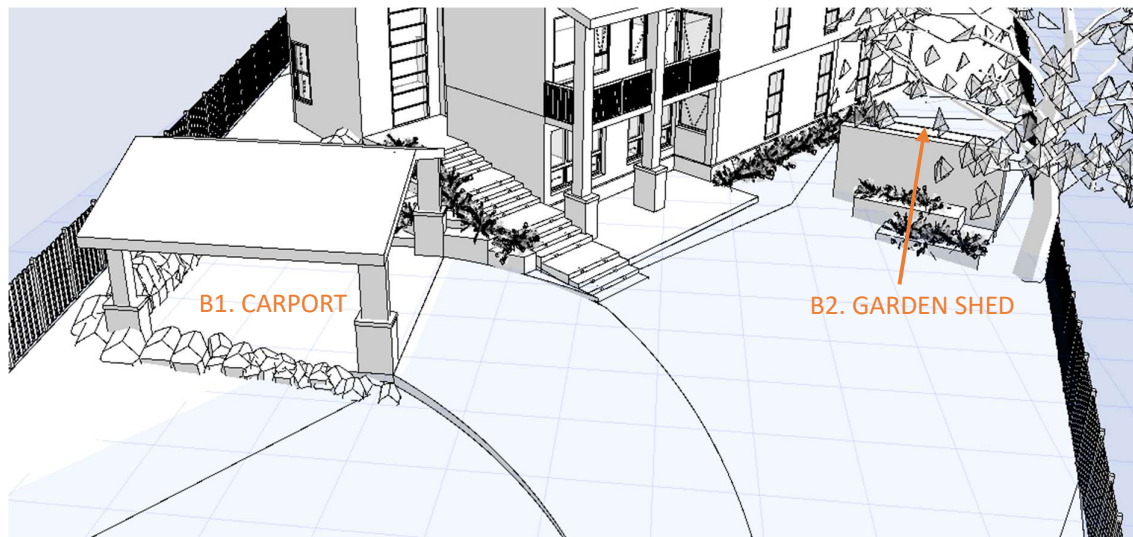
Posts – 100mm x 100mm (centred between rendered columns)

Battens – 50mmW x 12mmD with 40mm spacings (slightly smaller and narrower than shown in this image)

Bottom rail - 100mmH x 18mmD

Gap is approx. 60mm

Design Detail B – Carport & Garden Shed

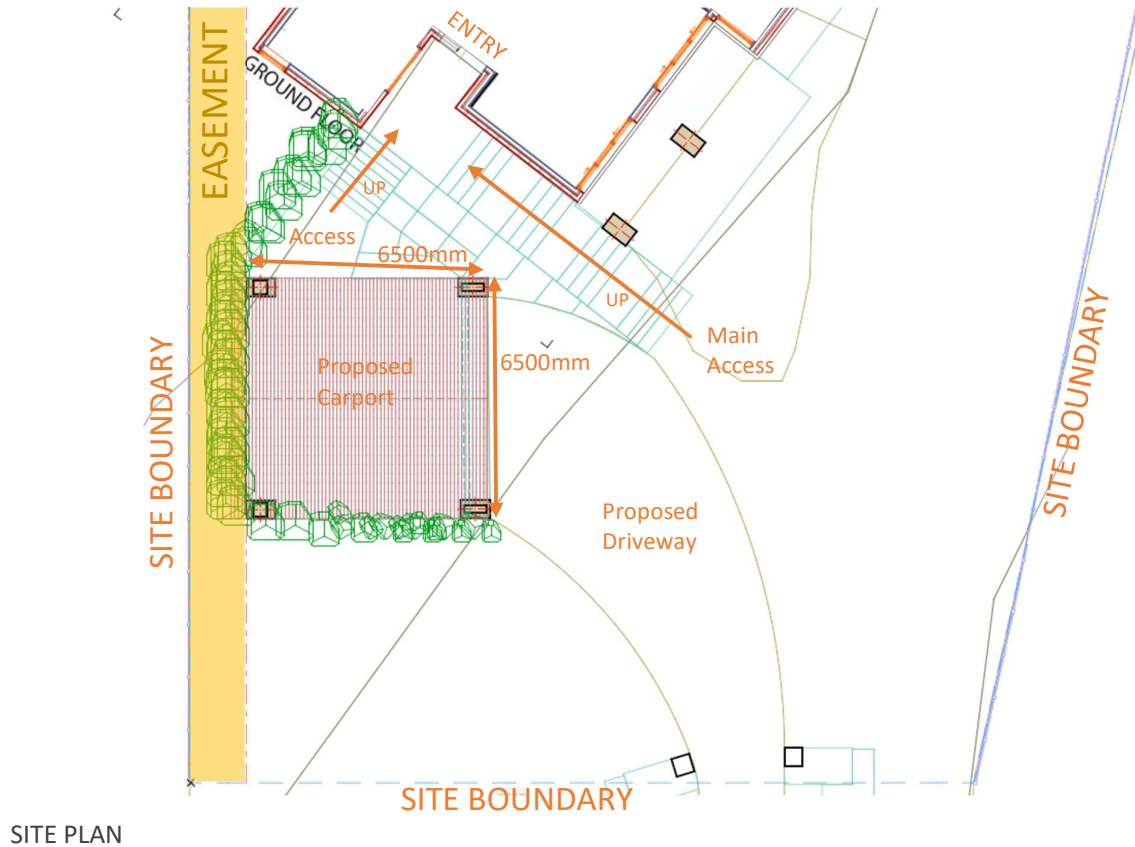


B1. Carport

B1a. Remove and dispose of existing carport and shed and replace as follows.

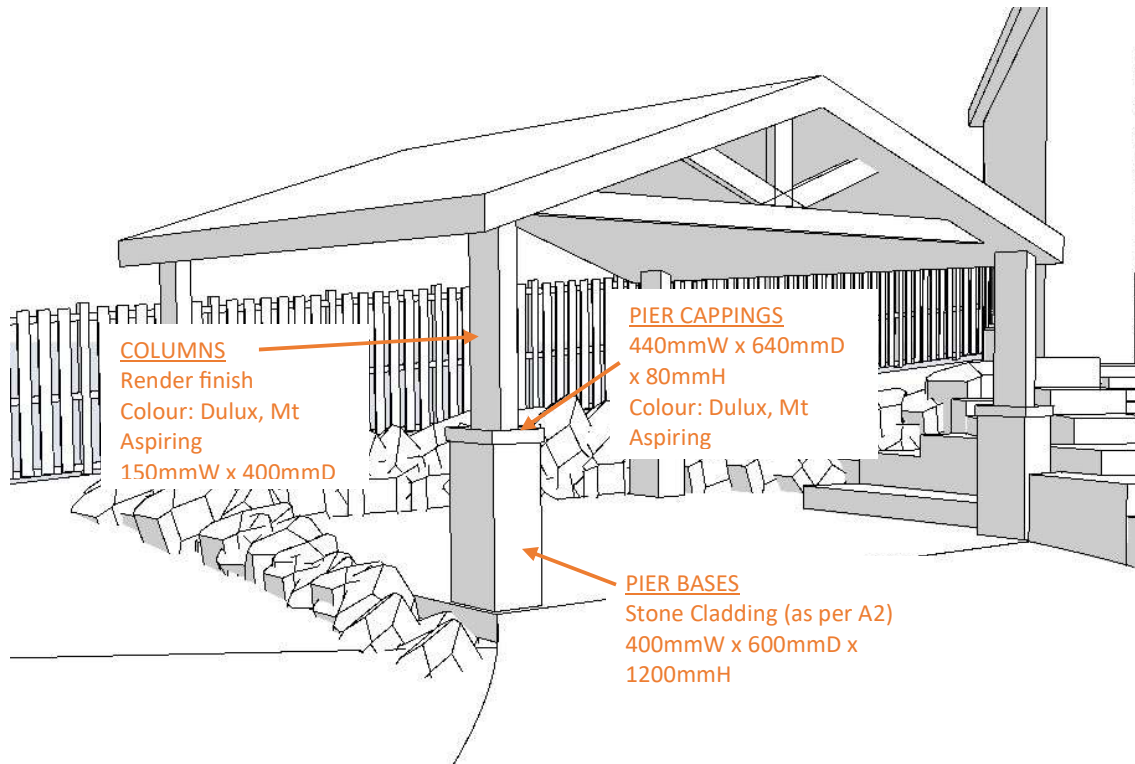
New open carport design is 6500mm x 6500mm. Reposition new carport parallel to the site boundary and away from the easement on the left-hand side of the property. Further details to follow. You will need this drawn up by a local draughtsperson and apply to council for approval.

NOTE – no building or structure to be built on easement.



B1b. Columns - as per the following details

Note: engineer will need to confirm the size of columns.



B1c. Roof - Gable roof as shown above

Material: Roof sheeting to be Lysaght Enseam265 or similar. Colorbond, Woodland Grey (or tiles to match the house roof)



Like this but colour is Woodland Grey as per house.

Roof pitch has been drawn at 20°

Gutters, fascia's, bargeboards and downpipes to match A3b.

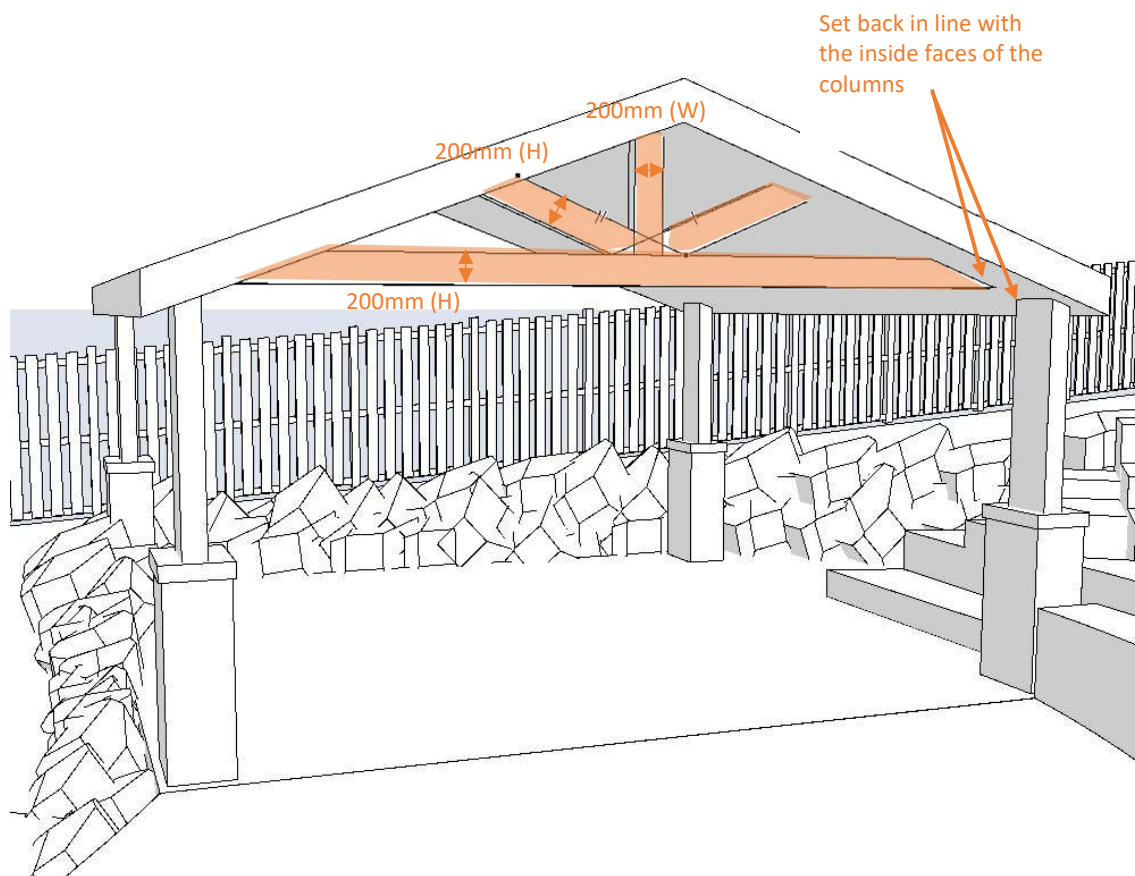
Note – Downpipes to be positioned at the rear of the carport (if possible). This will depend upon stormwater location and point of discharge.

B1d. Gable beams/trims

Install decorative gable ends to the front and rear faces of the carport as per image and dimensions below. These will ideally be set back from the bargeboards to be in line with the inside edge of the columns.

All beams to be 200mmH or as directed by engineer.

Prep/paint in Dulux, Mt. Aspiring

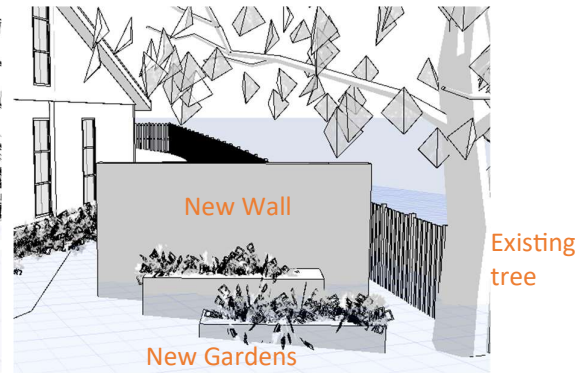
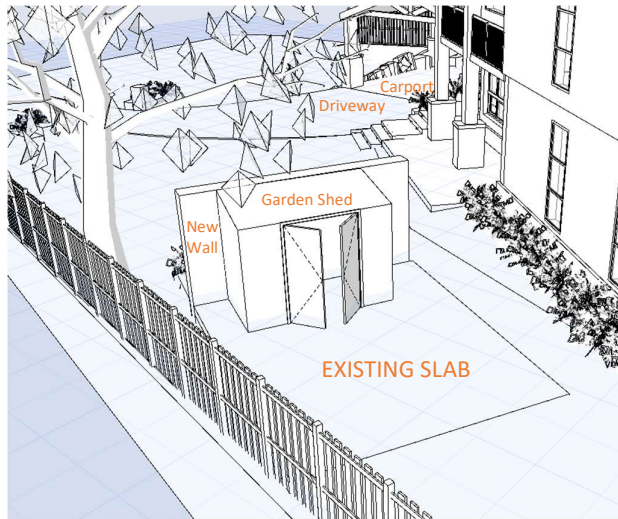


B1e. Finish Floor – Option a) Pavers to match the front stair/landing floor tiles
Option b) continue the asphalt driveway into the carport.

B2. Garden Shed

Remove existing garden shed and replace with new as per image below (or similar style) to hide behind new rendered wall/planterboxes. Colorbond, Woodland Grey.

Optional - Cut slab (if you want to make it smaller)



Design Detail C – Landscaping



C1. Driveway & Path

**C2. Fences, Front Entry/Planter Boxes,
Feature Wall & Retaining Walls**

C3. Landscaping

C1. Driveway & Path

Re-shape/widen the driveway to accommodate the new carport location as per shown on our illustration (exact location TBC). We suggest you also add a pad of permeable pavers to reduce the amount of bare turf area that may not survive. New path as follows.

C1a. Driveway (incl carport pad)-

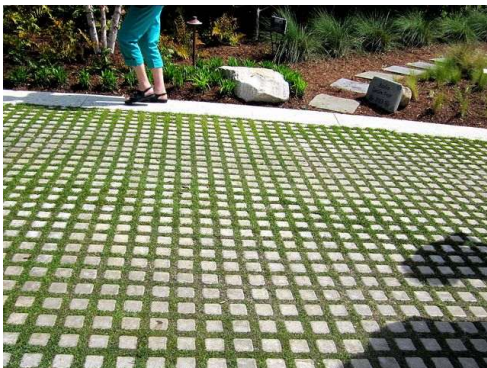
Option 1 - reuse/relocate the existing pavers/bricks and finish with a charcoal grey stain as follows. Option to mortar in between the gaps to prevent weed growth. You will need additional bricks for this. Labour will be intensive but product will be cheaper.



Option 2 - Remove all the pavers and lay asphalt to the entire new proposed driveway with feature border as shown below.



C1b. Lay permeable pavers to create 2x extra car spaces off to the right of the driveway as per plan. We suggest something like Turfgrid which looks a bit more stylish than standard permeable pavers...



With grass in between the pavers



If the grass dies, you can replace with stones

C1c. Lay a new path between the bottom of the entrance stairs and the shed slab, as shown on the plan. We suggest black pavers so they look similar to the driveway (and don't draw attention away from the front stairs). Ideally darker grey stones (not light grey or white as shown below).

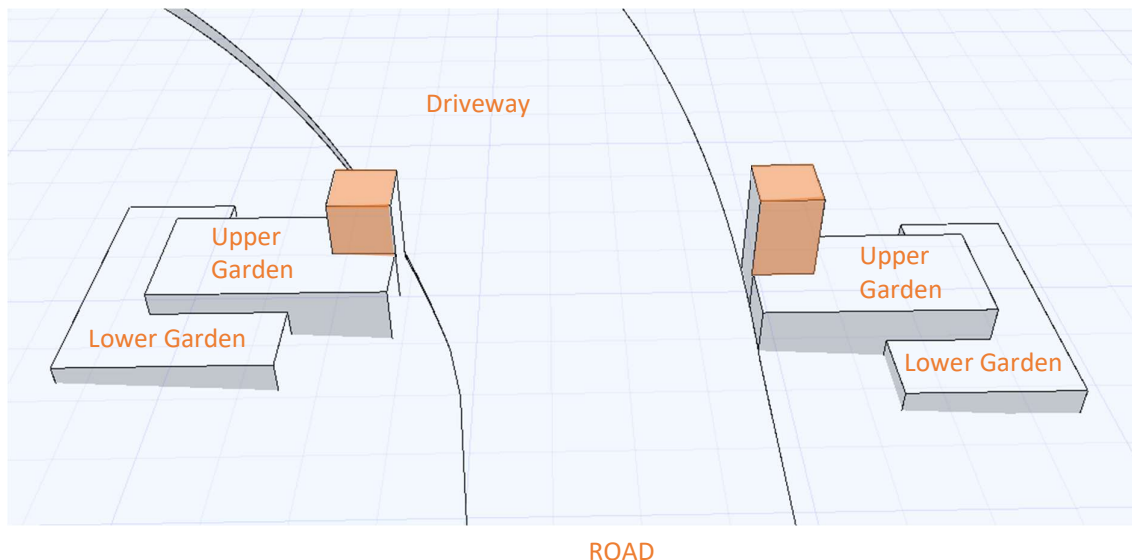


C2. Fences, Front Entry/Planter Boxes, Feature Wall & Retaining Walls

C2a. Fences – Retain/repair existing side fences as required. Prep and paint or stain to match Colorbond, Night Sky.

C2b. Front Entry/Planter Boxes

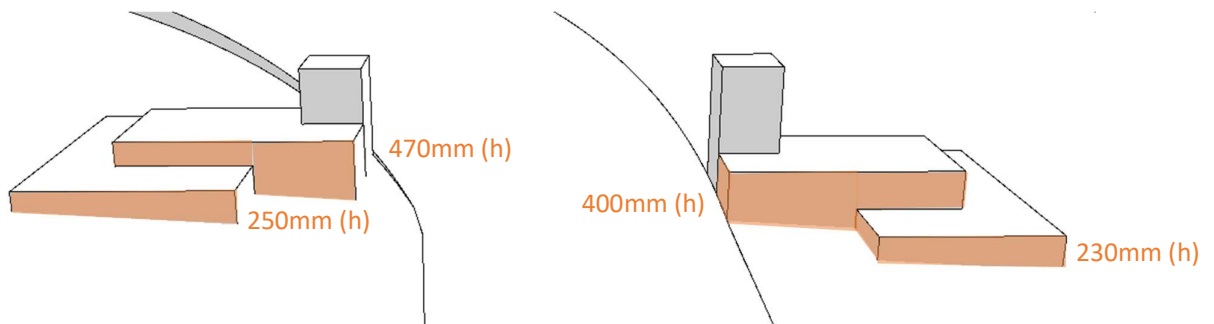
Front Entry - Build 2x 500mm x 500mm x approximately 800-900mm(H) pillars as shown below. Pillars to be made out of brickwork or boxed out to size and clad stone as per A2, as per builder's recommendation.

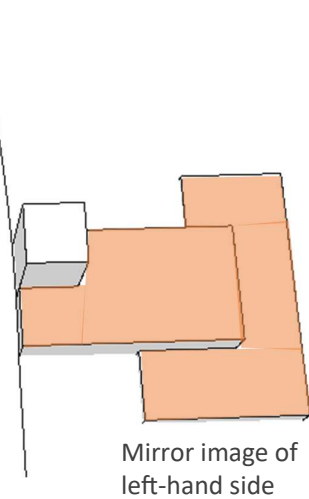
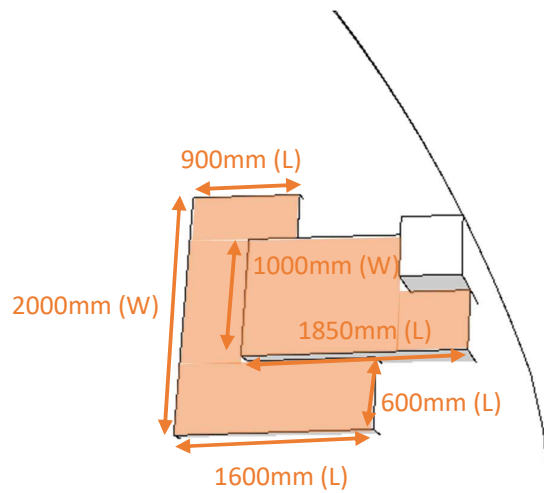


Mailbox to the right hand pillar with black 3D number '8' as shown below

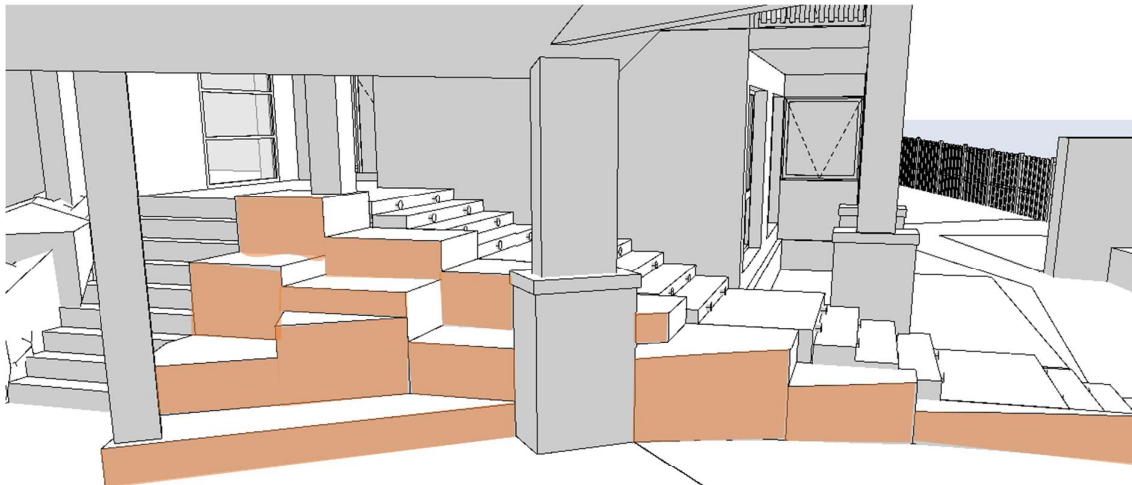


Build planter boxes as follows and render/paint Dulux, Mt Aspiring to match the house.

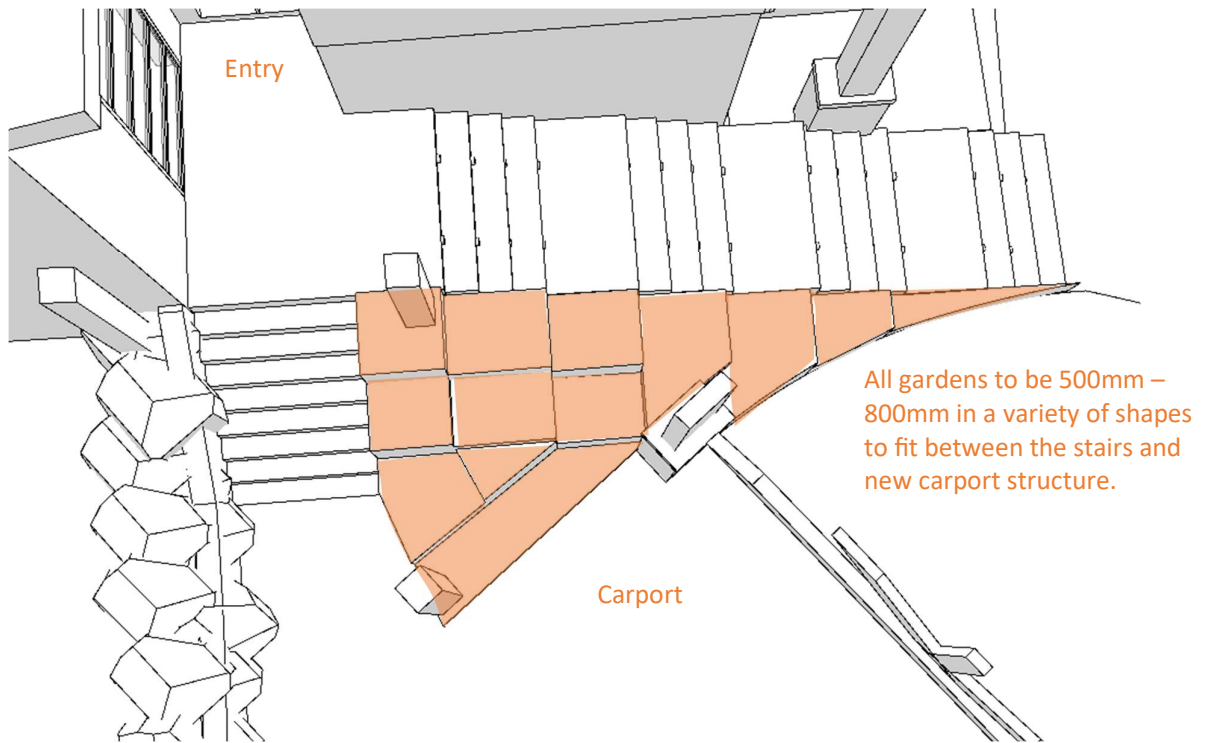




Planter boxes – Build new planter boxes between the stairs and carport as follows. All dimensions and details (including drainage, structural support etc) to be confirmed on-site by suitable experts.

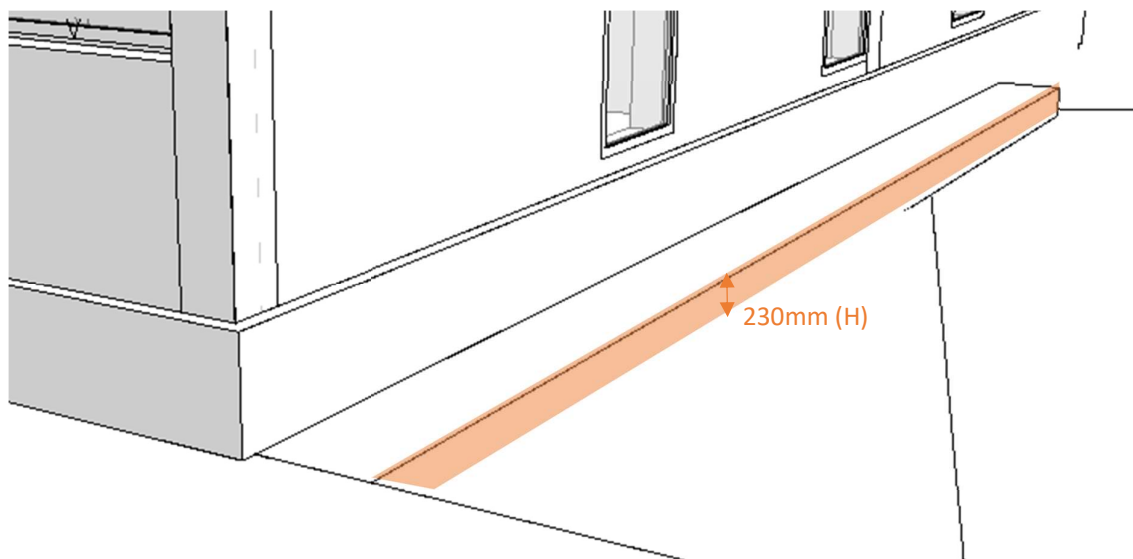


Planter boxes to be a variety of 400mm – 800mm heights



Plan View – Please note that the carport roof has been omitted for clarity.

Build new 230mmH planter box along the right-hand side of the house adjacent to new feature wall

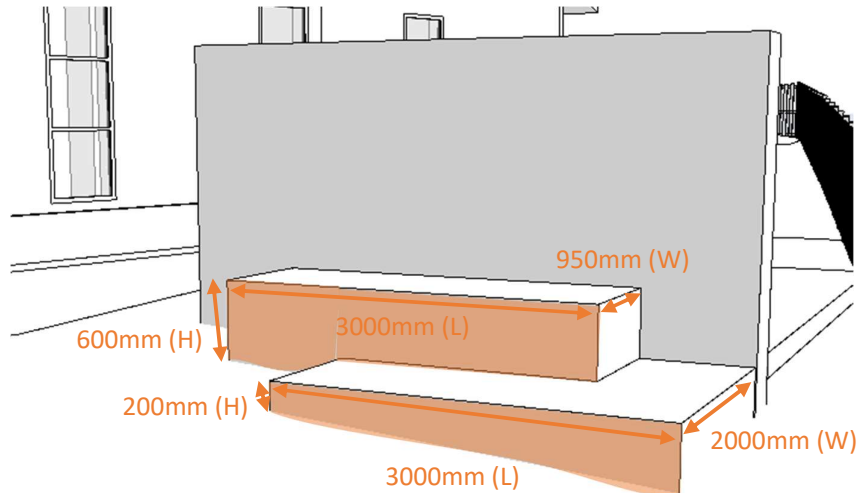


Perspective View

Feature wall – Build a new feature wall with planter boxes at the front end of the existing shed slab. Wall is the full width of the slab x approx. 1800-2000mmH (to hide the top of the new shed behind) x approx. 200-300mm thick (TBC by builder/engineer).

Wall is rendered and painted Dulux, Mt Aspiring.

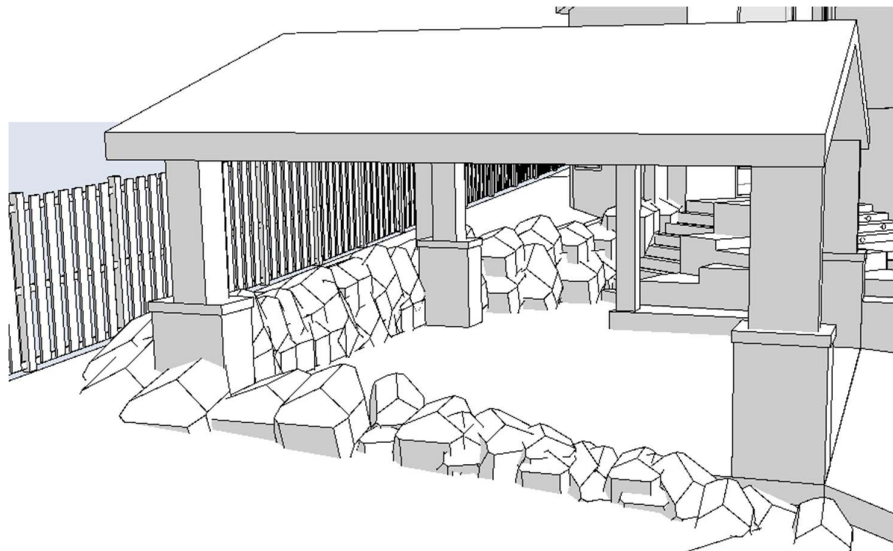
Planter boxes are clad with feature stone.



Retaining walls – Build new retaining walls as required for the new carport location.

Option 1) build retaining walls using large rocks from around the property (as per image below).

Option 2) build block walls and render as per planter boxes & feature wall (Dulux, Mt Aspiring)



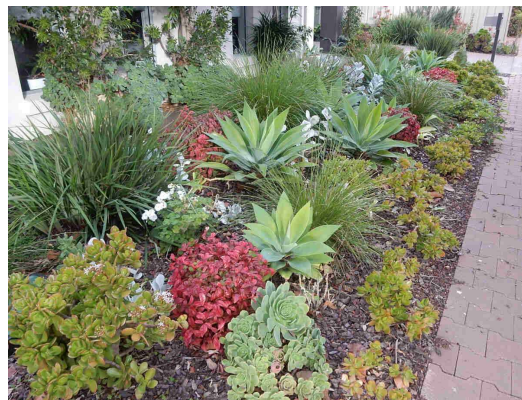
C3. Landscaping

Retain all large, healthy trees and bushes/hedges (trim as required) and remove all the rest of the small/spindly plants around the property (you may be able to re-use some of these).

Fill your garden (everywhere!) with drought tolerant plants positioned closely enough that they fill most of the empty space, but don't crowd each other.

Here are some ideas, but best to consult an expert in your area who can specify which species to use based on your soil type, property orientation etc.





We look forward to reviewing your
new façade design with you and will be in touch
in the coming days to arrange a time.

Happy Renovating!
Jane and the Hotspace team



www.hotspaceconsultants.com



Façade Design Plan Limitation of Liability

The Façade Design Plan ("Report") contains recommendations regarding work to do cosmetically to add value and improve the appeal of your property and are current as at the date of the Report. If any of the recommendations are not carried out in a reasonably timely manner, it is recommended that an updated Report be prepared.

The Report contains our recommendations only and we make no warranties or guarantees relating to the value of your property, quality of recommended fixtures, fittings, products, materials, paint or other items, or the renovation itself.

The Report will not identify the presence of or damage caused by pests, toxic or hazardous materials, or the presence of any kind of structural damage or decay. It is your responsibility to make your own assessments or engage suitably qualified professionals in relation to any of these issues.

The Report does not assess the structural impact of any recommended works to your property. It is your responsibility to engage a suitably qualified professional to assess the structural impact of any proposed works prior to commencing such works.

It is your responsibility to ensure that all works conducted at the property are performed with due care and skill and in accordance with all relevant building practices, codes, standards, laws (including health and safety laws), regulations and statutory authority requirements and that all relevant insurances, licences and permits are obtained.

Any recommended landscape works should be separately assessed by you or a suitably qualified professional in order to review the local conditions and whether such recommended landscape works are appropriate.

Any estimates regarding the costs of the renovation are a guide only. We will not be held responsible for any difference between our estimates and your actual costs.

To the extent permitted by law, we accept no responsibility and exclude all liability to you on any basis (including negligence) for any loss or damage, however caused, which you may suffer in relation to our services or your reliance on the Report. Any liability under any statutory right (including any condition or warranty implied by law or any guarantee or other right under any statute) that cannot be excluded is limited to the resupply of our services or the payment of the reasonable cost of same.