



Exterior Design Plan

MICHAEL & VICTORIA WHEELER
20 Sandrington Avenue, Bayton Views, VIC

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HOTSPACE

Before & After

AFTER



BEFORE



Concept Overview

A. Main Facade

B. Front Door, Feature 'arch' and
Feature wall

C. Landscaping, Walls/Fence, Path
and Driveway



NOTE RE: COLOURS DISPLAYED IN THIS EXTERIOR RENOVATION PLAN

Please be aware that all device screens and printers are different, so it's essential to view the recommended colours and products in the flesh. We are able to order paint samples for you (can take 5-7 days), or you may wish to collect from your local paint store.

Design Detail A – Main Facade

A1. House Walls – Prep and paint the existing rendered areas Dulux, xxxxx (will look white on the wall).

Garage walls - Prep and paint Dulux, xxxxx

A2. Roofs – pressure wash to refresh

A3. Gutters and fascias - xxxxx

A4. Soffit (underside of eaves) – Prep and paint Dulux, xxxxx



A5. Downpipes – Prep and paint Dulux, xxxxx to match walls

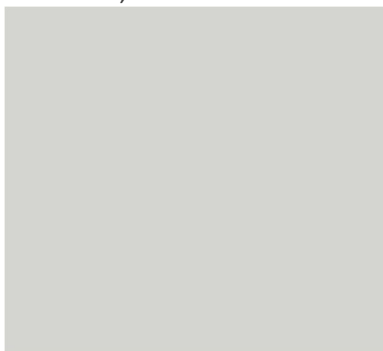
A6. Side balcony – As follows

A7. Windows and side/rear doors – replace centre window (same height as other windows) but leave others as is

A8. Lighting – Install 4x new up-down lights (each side of garage door and upper windows). See following.

A9. Garage door – as follows

A1. Dulux, xxxxx



A6.



Replace balustrade with new to match new fence inserts (black blades to legal height).

Clad the side and underside of the side balcony floor with timber-look aluminium as per front entrance arch and garage door

A8. Updown lights for each side of the garage door and upper outer windows as below. Try to find some similar to the Dulux, xxxxx colour so they stand out on the lower level but blend in a bit on the upstairs.



A9. Garage door – Replace the garage door with new. Vertical battens similar to this (such as Covet, Kuri Masame which is a timber-look aluminium). Since it will be a Panel-lift style, you will have some horizontal gaps too. Your builder or garage door supplier will be able to arrange this for you. However, we do suggest you visit the showroom (or other aluminium timber-look supplier you find) to select the product/colour in the flesh. Here is the Covet website - <https://www.covet.com.au/>



Covet, Kuri Masame

Design Detail B – Front Door, Feature ‘arch’ and Feature wall

B1. Feature ‘arch’ – as follows

B2. Lighting – Install 3x new plain black downlights within the arch and 1x at the entry

B3. Front door – Replace as per following image and description.



B4. Feature wall – Clad around the front left window and around into the entry lobby (left wall only) with a grey 300x300mm approx tile along the lines of Dulux, xxxxx (a mottled effect like the following image)

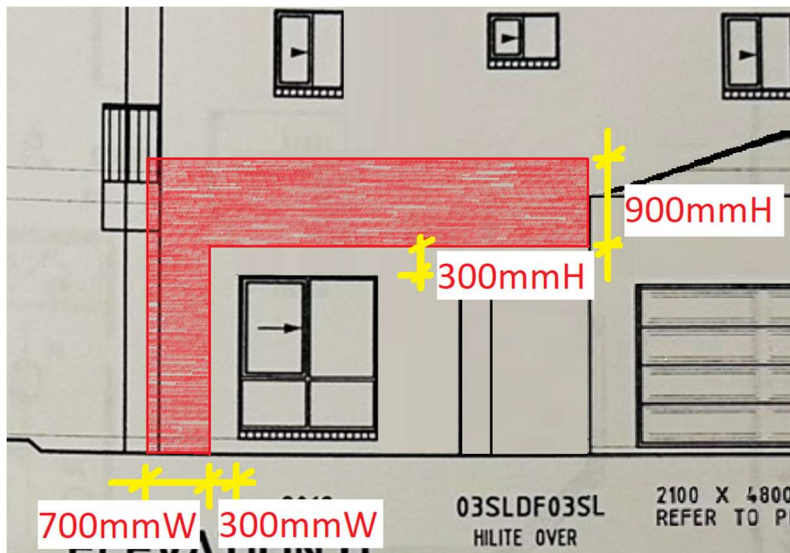
B5. House number - to be 3D and charcoal grey (ideally match xxxxx colour).

B6. Flooring – Front porch floor to be the same ‘footprint’ as the overhead arch. Tile in the same colour as recommended for the feature wall (but anti-slip version).

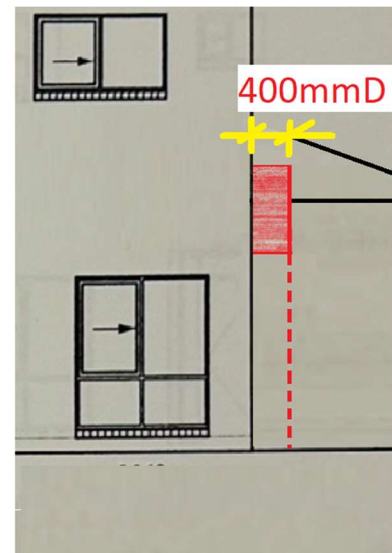
B1 – Remove the existing entrance portico and ‘make good’ to the existing wall surfaces as required (will need to re-render to match the existing which may require the entire front to be done).

Box out a new arch as per dimensions following, and clad all faces of it with aluminium timber-look cladding the same as the garage door.

Your builder may require proper working drawings though most builders should be able to construct from the following details. You shouldn’t need any council approvals but please check first.

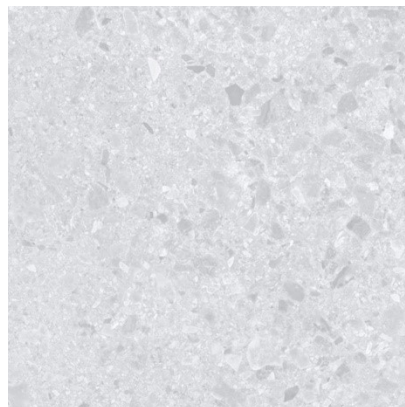


Front Elevation



Cross section (note: underside of arch forms the ceiling of the entry lobby area)

B3. Front door with frosted or clear glass side light. Door to be painted black to match the window joinery



B4. (as above right) Mottled tile similar to this for the feature wall (colouring to match the render wall colour or very slightly darker or lighter is ok too). Approx 300x300 tiles.

Design Detail C – Landscaping, Walls/Fence, Path/Driveway & Back Yard

C1.
Landscaping -
See following

C2. New low wall – build a new low wall approx 400mmH (or about 100mm higher than the top of the low hedge). Could build from Besser block then render. Prep and paint Dulux, xxxxx

C3. Fences – Leave the right hand fence as is.

Left fence – Prep and paint the existing fence posts (including top capping) Dulux, xxxxx. Remove the inserts and replace with new as follows.



C4. Mailbox – Prep and paint Dulux, xxxxx. Replace numbers with xxxxx (same 3D style/font as on house but smaller)

C5. Driveway and path – Expand the width of the driveway OR leave as is (but ensure the new front wall is built set in from the driveway, as discussed). Prep and coat the path and driveway in a concrete resurfacer/stain such as Dulux, Avista. Colour to be slightly darker than the feature wall tiles (will need to be determined after you select the tiles) – possibly Avista French Grey.

C6. Back Yard

C1. Garden beds to remain where they are. However, remove the Birds of Paradise on the right and also consider planting along the left side boundary line in the same hedge plants to soften that side.

Add a small hedge along the new front wall to match the existing one in front of the mailbox.

Now the house façade is improved, we think the existing landscaping is fine. You could add some grasses in between each 'ball' to fill it out a little (something like Liriope) if you wanted.

Just need to fertilise and give the existing hedge balls more 'life'! We are reluctant to make the landscaping too eye-catching as we really want the house to be the feature. Everything that's there will work with the new design (and also help us stick to budget!).

C3. xxxxx powdercoated blades on a 45 degree angle to provide privacy to your back area



C6. BACK YARD

Shed – Prep and paint to match Monument or Black. We think you should either pave (as per path) or turf the area that's currently white stones.

Garden edging – Prep and paint to match Monument

Path (southern side) – after consideration, we think plants are probably a no-go here. It's such a narrow space and we really think a fully paved area will be most practical. We're happy to revisit if you wish, but since it's the back area of the house, we find that it's the one that gets neglected most (and therefore should be zero maintenance if possible!). To jazz it up a bit, you could use either the tiles we've suggested for the front porch or to keep costs down a bit, lay raw concrete and have it stained as per the driveway.

Path (between back deck and southern path) – We think a more organic style path would be best here as it won't interrupt the usability of the back yard as much as a square or linear/filled path would. Also because it is on such a curve.



Deck – If retaining the timber, sand it and stain to match the colour of the timber/timber look you selected for the front façade. OR We love a black stain too which could work (will just need to test and make sure it won't get too hot).



We look forward to reviewing your
new exterior design with you and will be in touch
in the coming days to arrange a time.

Happy Renovating!
Jane and the Hotspace team



www.hotspaceconsultants.com



Exterior Renovation Plan Limitation of Liability

This Exterior Renovation Plan (“Report”) contains recommendations regarding work to do cosmetically to add value and improve the appeal of your property and are current as at the date of the Report. If any of the recommendations are not carried out in a reasonably timely manner, it is recommended that an updated Report be prepared.

The Report contains our recommendations only and we make no warranties or guarantees relating to the value of your property, quality of recommended fixtures, fittings, products, materials, paint or other items, or the renovation itself.

The Report will not identify the presence of or damage caused by pests, toxic or hazardous materials, or the presence of any kind of structural damage or decay. It is your responsibility to make your own assessments or engage suitably qualified professionals in relation to any of these issues.

The Report does not assess the structural impact of any recommended works to your property. It is your responsibility to engage a suitably qualified professional to assess the structural impact of any proposed works prior to commencing such works.

It is your responsibility to ensure that all works conducted at the property are performed with due care and skill and in accordance with all relevant building practices, codes, standards, laws (including health and safety laws), regulations and statutory authority requirements and that all relevant insurances, licences and permits are obtained.

Any recommended landscape works should be separately assessed by you or a suitably qualified professional in order to review the local conditions and whether such recommended landscape works are appropriate.

Any estimates regarding the costs of the renovation are a guide only. We will not be held responsible for any difference between our estimates and your actual costs.

To the extent permitted by law, we accept no responsibility and exclude all liability to you on any basis (including negligence) for any loss or damage, however caused, which you may suffer in relation to our services or your reliance on the Report. Any liability under any statutory right (including any condition or warranty implied by law or any guarantee or other right under any statute) that cannot be excluded is limited to the resupply of our services or the payment of the reasonable cost of same.